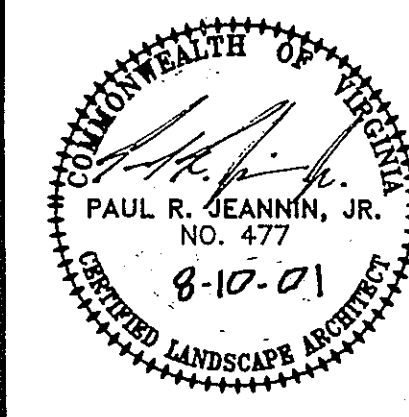


**NOTES:**

- THE PROPERTY DELINEATED ON THIS SHEET IS LOCATED ON FAIRFAX COUNTY TAX MAP # 71-2 (11) PARCEL 27 AND IS LOCATED IN THE MASON DISTRICT.
- THE CURRENT OWNERSHIP IS LISTED IN THE LAND RECORDS OF FAIRFAX COUNTY AS FOLLOWS:  
PARCEL 27: CASEY CLUB ASSOCIATION, INC. (DB 1785 / PG 0284)
- THE CONTRACT PURCHASER AND APPLICANT IS IVY DEVELOPMENT, L.C. LOCATED AT 2700 LENA COURT, VIENNA, VA 22124
- THE BOUNDARY SHOWN HEREON IS BASED UPON A FIELD RUN SURVEY BY BOWMAN CONSULTING GROUP DATED MARCH 1, 2001.
- TOPOGRAPHIC INFORMATION IS BASED UPON AN AERIAL SURVEY COORDINATED BY BOWMAN CONSULTING GROUP AND SHOWN AT A TWO FOOT CONTOUR INTERVAL.
- A COMPLETE TITLE REPORT HAS NOT BEEN FURNISHED FOR THE PURPOSE OF THIS CDP / FDP.
- ALL CONSTRUCTION SHALL CONFORM TO THE PROVISIONS OF ALL APPLICABLE ORDINANCES, REGULATIONS, AND ADOPTED STANDARDS OF FAIRFAX COUNTY AND VDOT EXCEPT AS REQUESTED HEREIN. THE APPLICANT RESERVES THE RIGHT TO APPLY FOR ANY FUTURE WAIVER OR MODIFICATION AT THE TIME OF SUBDIVISION PLAN PREPARATION / SUBMISSION.
- THE APPLICANT RESPECTFULLY REQUESTS THAT THE BOARD OF SUPERVISORS GRANT A WAIVER OF THE 600 FEET MAXIMUM LENGTH OF A PRIVATE STREET AS THEIR IS NO OTHER OPTION FOR A TOWNHOME COMMUNITY ON THIS NARROW SITE.
- THE APPLICANT RESPECTFULLY REQUESTS THAT THE BOARD OF SUPERVISORS GRANT A WAIVER OF THE COMPREHENSIVE PLAN RIGHT-OF-WAY DEDICATION (114 FEET FROM CENTERLINE) DUE TO THE FACT THAT THE SERVICE DRIVE AND RT 238 IMPROVEMENTS ARE COMPLETE / EXISTING IN ACCORDANCE WITH THE COMPREHENSIVE PLAN.
- THE APPLICANT RESPECTFULLY REQUESTS THAT THE BOARD OF SUPERVISORS GRANT A MODIFICATION OF TRANSITIONAL SCREENING AND BARRIER REQUIREMENT ALONG THE EASTERN BOUNDARY LINE (ADJACENT TO SINGLE FAMILY DETACHED LOTS) IN FAVOR OF THE EIGHT TO TEN FEET (8' TO 10') HEIGHT EVERGREEN TREES, THREE INCH (3") CALIPER DECIDUOUS SHADE TREES, TRANSPLANTED TREES (SEE TREE LEGEND) AND A SIX (6) FEET TALL BLOCK OR MASONRY WALL SHOWN ON THE CDP/FDP IN A THIRTEEN (13) FEET WIDE PLANTING STRIP WITHIN A THIRTY-SEVEN (37) FEET WIDE BUFFER.
- TRAIL WAIVER - SEE NOTE 13 BELOW
- PLANNING AND DEVELOPMENT SERVICES, INC. (PDSI) IS AWARE OF THE FOLLOWING UTILITY AND RIGHT-OF-WAY EASEMENTS, WHICH EXIST ON THE SUBJECT PROPERTY AND HAVE A WIDTH OF TWENTY-FIVE FEET OR MORE:  
- ONE STORM DRAINAGE EASEMENT (FOR THE EXISTING 60" STORM SEWER).  
- THE MANASSAS GAP RAILROAD RIGHT-OF-WAY. (A DENSITY REDUCTION SHALL NOT APPLY AS THIS EASEMENT WAS RECORDED PRIOR TO THE EFFECTIVE DATE OF THE ZONING ORDINANCE - SEE Z.O. SECTION 2-308, PARAGRAPH #3.)

- ALL UTILITIES INSTALLED AS PART OF THIS PROJECT SHALL BE PLACED UNDERGROUND. UTILITIES SHALL BE DESIGNED WITH THE FINAL PLANS. IT IS ANTICIPATED THAT MINOR ADJUSTMENTS TO THE PLAN MAY BE REQUIRED TO ACCOMMODATE SAID UTILITIES. ANY CONFLICTS WITH LANDSCAPING SHOWN ON HEREON WILL BE RESOLVED BY RELOCATING THE LANDSCAPING TO A NEARBY LOCATION. FOR INFORMATIONAL PURPOSES, A CONCEPTUAL LOCATION FOR THE OUTFALL OF STORM WATER AND SANITARY SEWER SERVICE ARE SHOWN ON THE CDP/FDP. PDSI ANTICIPATES THAT THE FCWA MAY REQUEST A LOOP CONNECTION TO THE EXISTING 36" WATER-LINE. IN THIS SCENARIO, THE LAYOUT WILL BE ADJUSTED ACCORDINGLY TO PERMIT THIS CONNECTION. REALIGNMENT OF THE EXISTING UTILITIES ONSITE SHALL BE REQUIRED. THEREFORE, THE APPLICANT HAS PROVIDED ROOM FOR A UTILITY CORRIDOR BETWEEN LOTS 12 & 13 AND LOTS 35 & 36 TO ACCOMMODATE THE POTENTIAL REALIGNMENT OF EXISTING SANITARY AND STORM SEWER WHICH BISECTS THE SITE. THIS CORRIDOR WOULD INCLUDE, THE REALIGNMENT OF THE 48" AND 60" STORM SEWER WHICH EXISTS WITHIN THE STORM DRAINAGE EASEMENT SHOWN ONSITE.
- THE SITE WILL BE SERVED BY PUBLIC WATER AND SANITARY SEWER.
- THIS PLAN IS IN GENERAL CONFORMANCE WITH THE ADOPTED COMPREHENSIVE PLAN OF FAIRFAX COUNTY WHICH RECOMMENDS 5 TO 8 DU / AC ON THE NORTH SIDE OF INDIAN RUN AND 1 TO 2 DU PER ACRE ON THE SOUTH SIDE OF INDIAN RUN.
- A RESOURCE PROTECTION AREA (RPA), A 100 YEAR FLOODPLAIN AND AN ENVIRONMENTAL QUALITY CORRIDOR (EQC) AS DEFINED BY THE FAIRFAX COUNTY ZONING ORDINANCE AND COMPREHENSIVE PLAN EXIST ON THE SUBJECT PROPERTY AS DEPICTED IN THEIR APPROXIMATE LOCATION AS SHOWN ON THE CDP / FDP.
- AN EIGHT FEET WIDE ASPHALT TRAIL (BIYCLE) IS REQUIRED ALONG THE SUBJECT PROPERTY'S FRONTAGE OF LITTLE RIVER TURNPIKE AND ALONG INDIAN RUN AS REQUIRED BY THE COUNTY WIDE TRAILS PLAN.
- THE APPLICANT RESPECTFULLY REQUESTS THAT THE BOARD OF SUPERVISORS GRANT A WAIVER OF THE TRAIL REQUIREMENT IN FAVOR OF THE PROPOSED 5' WALKWAY AS SHOWN IN THE DETAIL ON SHEET THREE. THE APPLICANT BELIEVES THAT THE CONCRETE WALKWAY WHICH HAS BEEN CREATIVELY DESIGNED WILL BE MORE CONSISTENT WITH THE EXISTING SIDEWALKS ADJACENT TO THE PROPERTY.
- PDSI IS NOT AWARE OF ANY BURIAL SITES LOCATED ON THE SUBJECT PROPERTY.
- A GEOTECHNICAL REPORT WILL BE SUBMITTED FOR REVIEW BY FAIRFAX COUNTY CONCURRENTLY WITH THE FINAL SUBDIVISION PLAN, IF REQUIRED.
- NO HAZARDOUS OR TOXIC SUBSTANCES HAVE BEEN GENERATED, UTILIZED, STORED, TREATED, AND/OR DEPOSED OF OR HAVE BEEN OBSERVED ON THE SUBJECT PROPERTY.
- SIDEWALKS ARE PROVIDED AS SHOWN HEREON.
- THE PROPOSED LIMITS OF CLEARING AND GRADING ARE APPROXIMATE AND ARE SUBJECT TO ADJUSTMENT AT THE TIME OF FINAL ENGINEERING AND LOCATION OF UTILITIES.

- ALL DIMENSIONS AND AREAS SHOWN HEREON ARE APPROXIMATE AND ARE SUBJECT TO CHANGE WITH FINAL ENGINEERING OF THE SUBDIVISION PLAN AS PERMITTED BY THE ZONING ORDINANCE. ANY UTILITIES SHOWN HEREON ARE DEPICTED FOR ILLUSTRATIVE PURPOSES ONLY. THE ACTUAL UTILITY LAYOUT WILL BE DETERMINED WITH THE FINAL SUBDIVISION PLAN AND MAY RESULT IN REVISED CLEARING LIMITS TO ACCOMMODATE SAID UTILITY LAYOUT (SEE NOTE #9 ALSO).
- AN ONSITE STORMWATER MANAGEMENT (SWM) AND BEST MANAGEMENT PRACTICES (BMP) FACILITY HAS BEEN DEPICTED WITHIN PARCEL B OF THE SUBJECT PROPERTY. THE APPLICANT RESERVES THE RIGHT TO PURSUE MINOR MODIFICATIONS OF THE SWM / BMP REQUIREMENTS AT THE TIME OF FINAL SITE PLAN REVIEW.
- THE APPLICANT ANTICIPATES THAT A HIGH PERCENTAGE OF THE BMP REQUIREMENTS WILL BE MET THROUGH THE PRESERVATION OF "QUALIFYING" OPEN SPACE IN PARCELS A AND B WHICH SHALL BE ENCUMBERED BY CONSERVATION EASEMENT(S).
- OPEN SPACE PARCEL A SHOWN HEREON SHALL BE DEDICATED TO AND MAINTAINED BY THE FAIRFAX COUNTY PARK AUTHORITY. OPEN SPACE PARCEL B SHOWN HEREON SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- THE APPLICANT SHALL PROVIDE A CHILDREN'S PLAY AREA (TOT LOT) AS GENERALLY SHOWN ON THE CDP / FDP. THIS AREA SHALL INCLUDE A SEATING AREA WITH THREE BENCHES, FOUR LOCATIONS FOR PLAY SCULPTURES / BOUNCERS, A SAND BOX AND A PLAY STRUCTURE WHICH SHALL INCLUDE STAIRS, LANDING, ROOF, PLAY PANEL AND A SLIDE OR SIMILAR FEATURES AS APPROVED BY DPWES.
- DETAILED TREE COVER AND PARKING LOT CALCULATIONS AND SPECIFIC PLANT TYPES WILL BE PROVIDED WITH THE FINAL SITE PLAN.
- DEVELOPMENT OF THIS PROJECT SHALL COMMENCE AT SUCH TIME AS APPROPRIATE COUNTY APPROVALS HAVE BEEN OBTAINED AND SUBJECT TO THE DISCRETION OF THE OWNER / DEVELOPER.
- THIS AREA IS CURRENTLY UNDER LEASE BY THE ANNANDALE OFFICE CENTER TO PROVIDE AN EXPANDED PLAY AREA FOR THEIR CHILD CARE SERVICES. THIS AREA WILL REMAIN UNDER THIS LEASE AND WILL BE ENCUMBERED BY A TEMPORARY USE EASEMENT THAT WILL BECOME NULL AND VOID AT SUCH TIME AS THE CURRENT LEASE IS TERMINATED.
- ALL STREETS SHOWN WITHIN THE SUBJECT PROPERTY SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THE STREETS SHALL BE A MINIMUM OF 24 FEET WIDE AND SHALL BE ENCUMBERED BY AN INGRESS-EGRESS EASEMENT WITH AN APPROXIMATE WIDTH OF 38' TO 40' FEET WIDE.



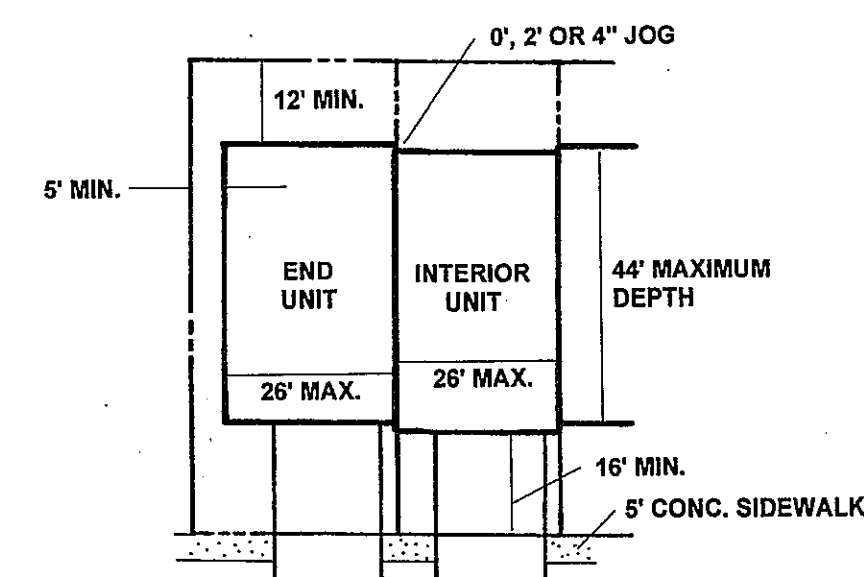
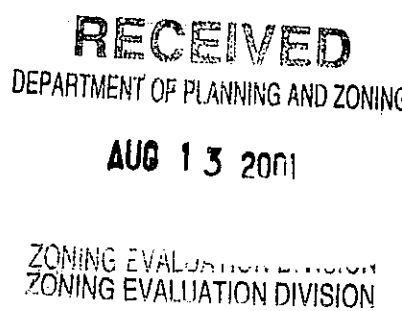
**CONCEPTUAL / FINAL DEVELOPMENT PLAN**

**ASPEN HILL**

MASON DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE: 1" = 50'  
PDSI PROJECT # 148

DATE: MARCH 12, 2001  
SHEET 1 OF 3

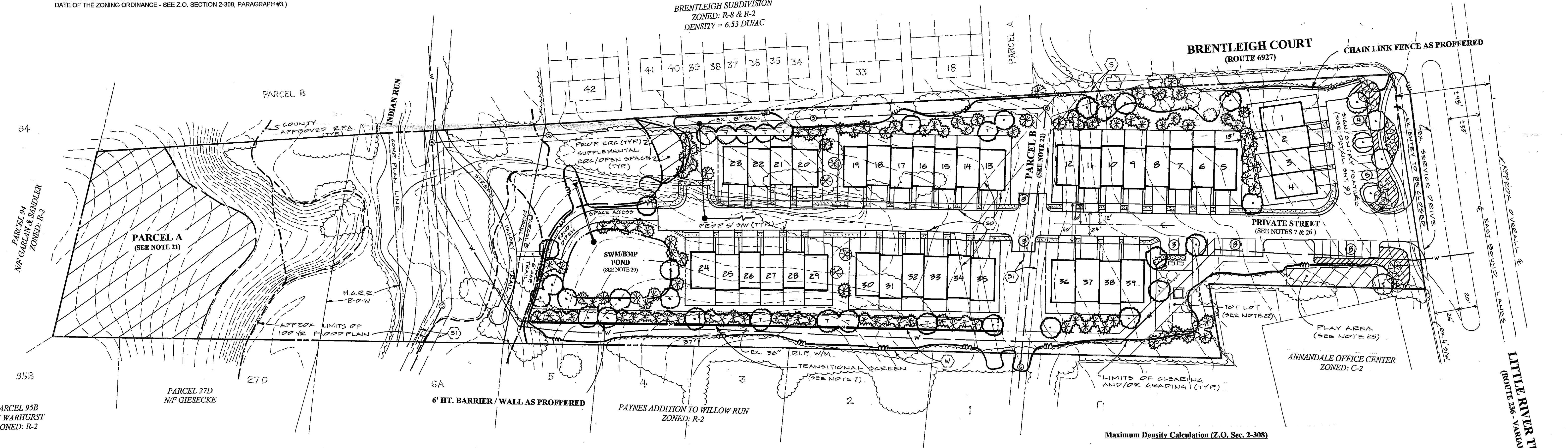


**UNIT DETAIL**  
(Not To Scale)

PARKING NOTE: THE MINIMUM DRIVEWAY PARKING DEPTH SHALL BE 16 FEET AS SHOWN ON THE ABOVE DETAIL. HOWEVER, EVERY OTHER UNIT SHALL BE 18 FEET IN DEPTH. UNITS 5 THROUGH 18 AND UNITS 30 THROUGH 38 SHALL HAVE A DRIVEWAY DEPTH OF 18 FEET. NO MORE THAN TWO SPACES PER UNIT, GARAGE AND OR DRIVEWAY COUNTED, IS TABULATED TOWARD THE REQUIRED PARKING.

**TABULATIONS:**

SITE AREA	= 7.65498 ACRES (333,451 SF)
EXISTING ZONING	= R-2
PROPOSED ZONING	= PDH-8
AVERAGE LOT AREA	= NONE
REQUIRED PROVIDED	= GREATER THAN 1815 SF
MINIMUM LOT AREA	= NONE
REQUIRED PROVIDED	= GREATER THAN 1632 SF
MINIMUM LOT WIDTH	= NONE
MAXIMUM BUILDING HEIGHT	= 35 FEET
MINIMUM YARD REQUIREMENTS	
FRONT YARD	= 16 FEET
SIDE YARD	= 6 FEET
REAR YARD	= 12 FEET
OPEN SPACE	
REQUIRED PROVIDED	= 25.0% (83,363 SF)
	= 62.6% (208,798 SF APPROXIMATELY)
PARKING	
REQUIRED (2.3 SP/UNIT)	= 80 SPACES
PROVIDED (2.3 SP/UNIT)	= 112 SPACES (2 PER UNIT + 34 SPACES)
DENSITY	
PERMITTED	= 6.663 DU/AC (51 UNITS)(SEE CALCULATION BELOW)
PROPOSED	= 5.1 DU/AC (39 UNITS)
MAXIMUM DENSITY CALCULATION	
AREA OF SITE PLANNED 8 DU/AC (MINUS STORM SEWER EASEMENT)	= 5.90118 DU/AC
AREA OF 25' FEET WIDE STORM SEWER @ 1/2 DENSITY = 4 DU/AC	= 0.14380 DU/AC
AREA OF SITE PLANNED 2 DU/AC	= 1.61000 DU/AC
ADJUSTED MAX. DENSITY (8 x 5.90118) + (4 x 0.14380) + (2 x 1.61000)	= 51 UNITS



**Maximum Density Calculation (Z.O. Sec. 2-308)**

- Area of Site = 7.65 acres
- Area of Floodplain and Adjacent Steep Slopes = 1.50 acres approximately
- 1.50 acres is approximately 20% of the site.

This percentage is less than 30% and thus a density reduction shall not apply.

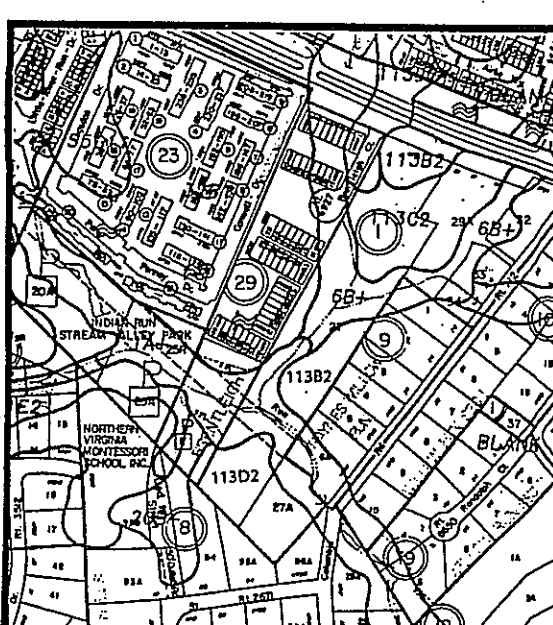
**TREE LEGEND**

- LARGE DECIDUOUS TREE (3" CALIPER)
- MEDIUM / LARGE EVERGREEN (8' TO 10' HT.)
- ORNAMENTAL TREE (1" TO 2" CALIPER)
- TRANSPLANTED TREE

NOTE: THE APPLICANT HAS IDENTIFIED SEVERAL LARGE TREES ONSITE WHICH ARE SUITABLE FOR TRANSPLANTING. THESE TREES ARE SHOWN ON THE PLAN, AS DESIGNATED ABOVE, IN THEIR NEW LOCATION.

**EASEMENT LEGEND**

- APPROXIMATE LOCATION CENTERLINE EXISTING VIRGINIA POWER EASEMENT DB 2182, PG 516
- EXISTING SANITARY SEWER EASEMENT DB 5559, PG 1349
- APPROXIMATE LOCATION EXISTING SANITARY SEWER EASEMENT DB 1749, PG 146
- EXISTING STORM SEWER EASEMENT DB 4061 PG 711
- EXISTING FCWA EASEMENT DB 6992, PG 0337



SOILS MAP  
NOT TO SCALE

**SEE SHEET TWO FOR ADDITIONAL INFORMATION REGARDING EXISTING FEATURES AND BOUNDARY INFORMATION**

RZ 2001-MA-017  
Application No. FDP 2001-MA-017 Staff F. B. Burrell  
APPROVED DEVELOPMENT PLAN  
(DP) (GDP) (CDP) (FDP)  
SEE PROFFERS DATED 9/20/01  
Date of BOS (PC) approval 10/22/01  
Sheet 1 of 3

**REVISION BLOCK**

REVISION	DESCRIPTION	DATE
#1	Reduce yield from 44 to 39 units, improve buffering, increase landscaping, increase open space, add County approved RPA and EQC.	7-1-01
#2	Revise buffer between Units 1-4 & Units 5-12, add max. Density tab, wall / barrier note and a parking note.	7-31-01
#3	Add eight evergreens, one deciduous tree and a chain link fence adjacent to Brentleigh Court, Add turnaround to stream valley trail, relocate barrier / wall to the east side of the planting Behind units 24 - 35.	8-10-01



1. THE PROPERTY DELINEATED HEREON IS LOCATED ON COUNTY TAX ASSESSMENT MAP NO. 71-2-(11) PARCEL 27 AND IS ZONED R-2.
2. THE PROPERTY IS NOW IN THE NAME OF CASEY CLUB ASSOCIATION, INCORPORATED AND IS RECORDED IN DEED BOOK 1785, AT PAGE 284 AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.
3. BOUNDARY INFORMATION AS SHOWN HEREON IS COMPILED FROM EXISTING LAND RECORDS OF FAIRFAX COUNTY AND A FIELD RUN SURVEY PERFORMED BY BOWMAN CONSULTING GROUP ON JANUARY 31, 2001.
4. NORTH MERIDIAN INFORMATION AS SHOWN HEREON IS BASED ON VIRGINIA STATE GRID NAD 83, NORTH ZONE AND IS BASED ON A GPS STATIC SURVEY, BY BOWMAN CONSULTING GROUP PERFORMED ON JANUARY 19, 2001. COORDINATES SHOWN HEREON ARE PROJECT AND ARE BASED ON NGS MONUMENTS (HV1646, HV5642, AA2670). THE COMBINED SCALE FACTOR TO BE USED TO RETURN GRID IS 1.00005373.
5. VERTICAL DATUM SHOWN HEREON IS NAVD 88 AND IS BASED A STATIC GPS SURVEY BY BOWMAN CONSULTING GROUP PERFORMED ON JANUARY 19, 2001.
6. THIS PLAT HAS BEEN PREPARED WITH THE BENEFIT OF A TITLE REPORT PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, COMMITMENT NUMBER 10648, EFFECTIVE DATE SEPTEMBER 28, 2000 AT 8:00 AM. THE FOLLOWING ITEMS OF THE EXCEPTIONS ARE NOT SURVEY RELATED MATTERS 1, 2, 3, 5, 6, 7, 9 AND 13. THE FOLLOWING ITEMS OF THE EXCEPTIONS ARE SURVEY RELATED MATTERS AND ARE SHOWN HEREON ITEMS 3, 4, 10 (AS TO VIRGINIA ELECTRIC POWER COMPANY EASEMENT RECORDED IN DEED BOOK 2182, AT PAGE 516), 11 (AS TO EASEMENTS GRANTED TO THE BOARD OF SUPERVISORS OF FAIRFAX COUNTY RECORDED IN DEED BOOK 1479 AT PAGE 146, DEED BOOK 4061 AT PAGE 711 AND DEED BOOK 5559 AT PAGE 1349), 12 AND 14. THE FOLLOWING ITEMS OF THE EXCEPTIONS DO NOT AFFECT THE PROPERTY ITEMS 9, 10 (AS TO VIRGINIA ELECTRIC POWER EASEMENT RECORDED IN DEED BOOK 558 AT PAGE 524) AND 11 (AS TO EASEMENT GRANTED TO THE BOARD OF SUPERVISORS OF FAIRFAX COUNTY RECORDED IN DEED BOOK 5559 AT PAGE 1357).
7. THE PROPERTY SHOWN HEREON IS NOT IN A 100 YEAR FLOODPLAIN. IT LIES IN ZONE "X" AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP FOR UNINCORPORATED AREAS OF FAIRFAX COUNTY, VIRGINIA, COMMUNITY-PANEL NUMBER 515525-0089D, MAP REVISED MARCH 5, 1990.

## LEGEND

- |       |                      |   |                        |
|-------|----------------------|---|------------------------|
| ○ IRF | IRON ROD FOUND       | ⊕ | FIRE HYDRANT           |
| ○ DHS | DRILL HOLE SET       | ⊕ | LIGHT POLE             |
| ○ IPF | IRON PIPE FOUND      | ⊕ | WATER MANHOLE          |
| ○ IPS | IRON PIPE SET        | ⊕ | SANITARY MANHOLE       |
| ⊕     | GAS VALVE            | ⊕ | GROUND LIGHT           |
| ⊕     | UTILITY POLE         | ⊕ | OVERHEAD UTILITY       |
| ⊕     | SIGN                 | ⊕ | STORM DRAIN MANHOLE    |
| ⊕     | BRICK RETAINING WALL | ⊕ | BELL TELEPHONE MANHOLE |
| ⊕     | EDGE OF PAVEMENT     | ⊕ | BELL TELEPHONE MANHOLE |
| ⊕     | GUY WIRE             | ⊕ | BOLLARD                |
| ⊕     | WATER METER          |   |                        |

## EASEMENT LEGEND

- |   |  |
|---|--|
| ⊕ | APPROXIMATE LOCATION CENTERLINE EXISTING VIRGINIA POWER EASEMENT DB 2182, PG 516 |
| ⊕ | EXISTING SANITARY SEWER EASEMENT DB 5559, PG 1349                                |
| ⊕ | APPROXIMATE LOCATION EXISTING SANITARY SEWER EASEMENT DB 1748, PG 146            |
| ⊕ | EXISTING STORM SEWER EASEMENT DB 4061 PG 711                                     |
| ⊕ | EXISTING FCWA EASEMENT DB 6992, PG 0337  |

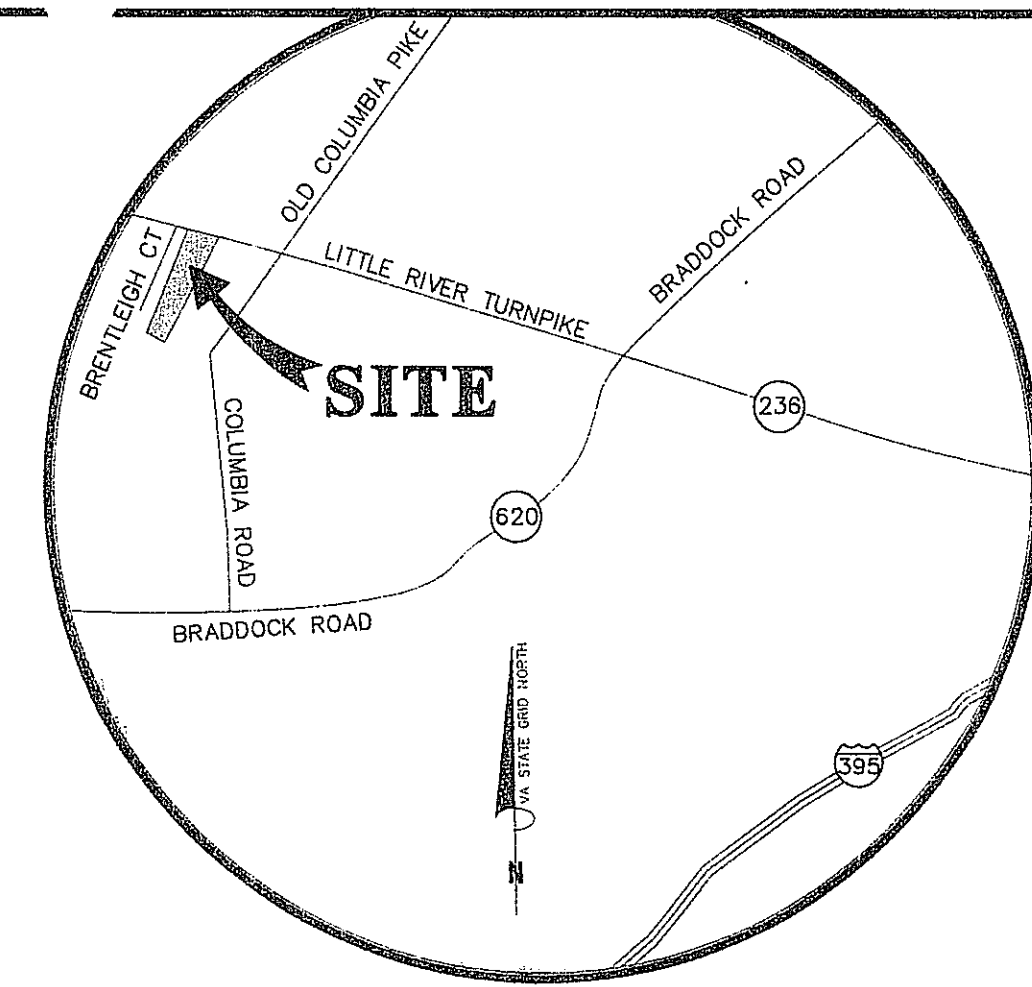
Application No. 81P01 2001-0A-017 Staff F. Burroughs  
APPROVED DEVELOPMENT PLAN  
(DP) (GDP) (CDP) (FDP)  
SEE PROCEEDERS DATED 9/20/01  
Date of (GDP) (PC) approval 12/22/01  
Sheet 2 of 3

## EXISTING BUILDING TABLE:

#	BUILDING	STATUS	YEAR CONSTRUCTED
27	YES (1 STORY, BRICK)	TO BE REMOVED	1982 (ADDITION / REMODELED 1988)

NOTE: IN ADDITION TO THE EXISTING CLUB FACILITY THE FOLLOWING EXISTING FEATURES SHALL BE REMOVED:

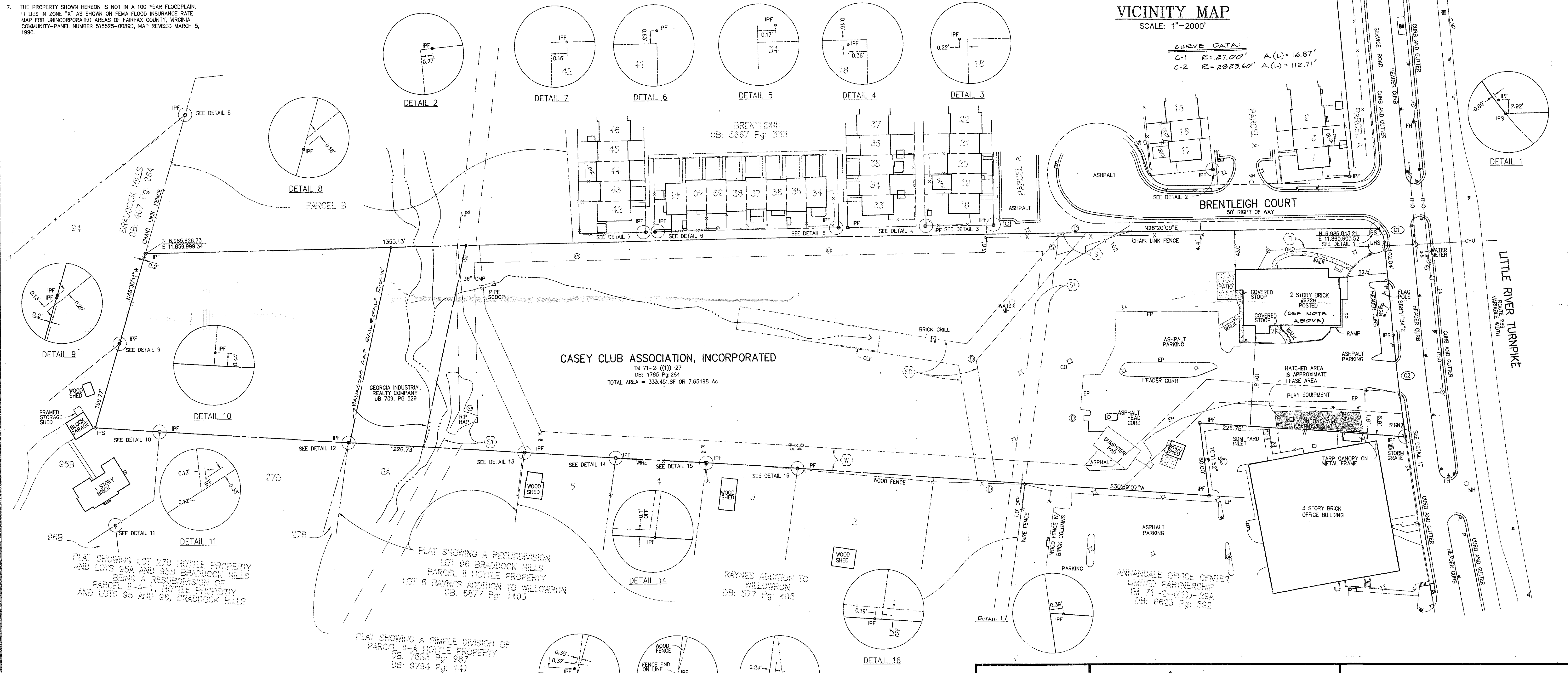
- EXISTING ONSITE TRAVELWAYS AND PARKING AREAS.
- EXISTING DUMPSTER PAD.
- EXISTING WOOD SHED.
- EXISTING PATIO AND WALKWAYS WHICH SERVE THE EXISTING BUILDING.
- EXISTING SIGN AND FLAGPOLE IN FRONT OF THE EXISTING BUILDING.
- EXISTING BRICK GRILL.
- EXISTING SIGNAGE AND LIGHTING FOR THE EXISTING PARKING LOT.
- EXISTING UTILITY SERVICE TO THE EXISTING BUILDING.



## VICINITY MAP

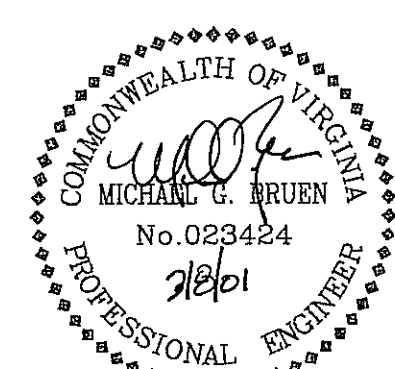
SCALE: 1"=2000'

CURVE DATA:  
C-1 R=27.00' A(L)=16.87'  
C-2 R=2823.60' A(L)=112.71'



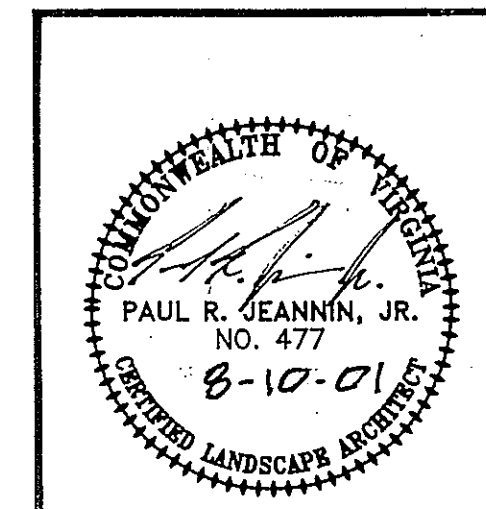
SURVEYING, BASE SHEET, TOPOGRAPHY AND BOUNDARY INFORMATION HAVE BEEN PROVIDED BY:

REVISION	DESCRIPTION
1	REUSE OF DOCUMENTS
2	REUSE OF DOCUMENTS
3	REUSE OF DOCUMENTS
4	REUSE OF DOCUMENTS
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100	REUSE OF DOCUMENTS



## REVISION BLOCK

REVISION	DESCRIPTION	DATE
#1	Revision to sheet 1 and add sheet 3.	7-1-01
#2	Revise Sheet 1	7-31-01
#3	Revise Sheet 1	8-10-01



**Planning & Development Services, Inc.**  
Site Planning • Landscape Architecture • Plan Management  
• 10012 Island Fog Court • Bristow, Virginia 20136 •  
• Office: 703.393.9521 • FAX: 703.393.9951 •

## CONCEPTUAL / FINAL DEVELOPMENT PLAN

### ASPEN HILL

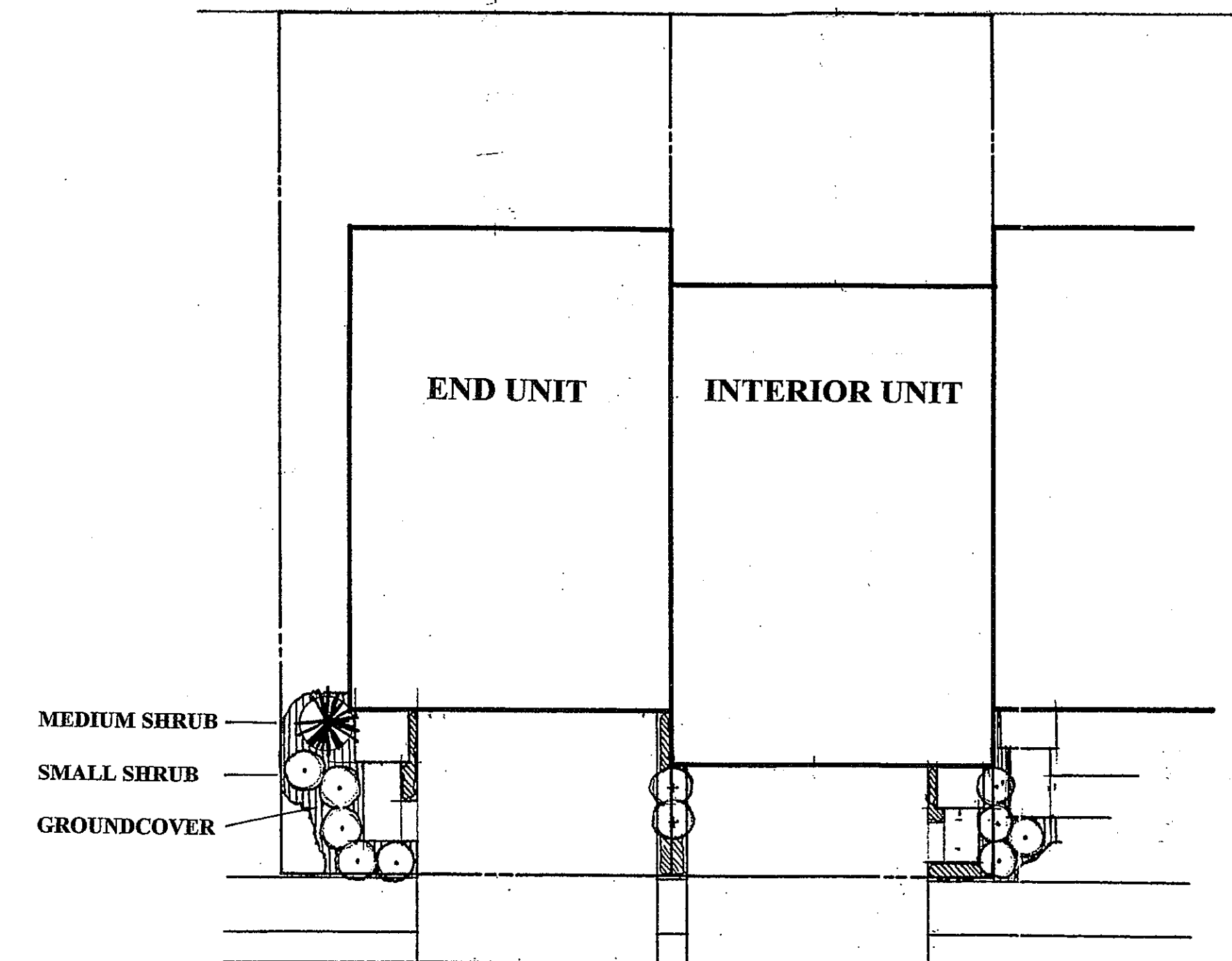
MASON DISTRICT  
FAIRFAX COUNTY, VIRGINIA  
SCALE: 1"=50'  
PDSI PROJECT # 148  
DATE: MARCH 12, 2001  
SHEET 2 OF 3





**TOWNHOME ELEVATIONS**  
(NOT TO SCALE)

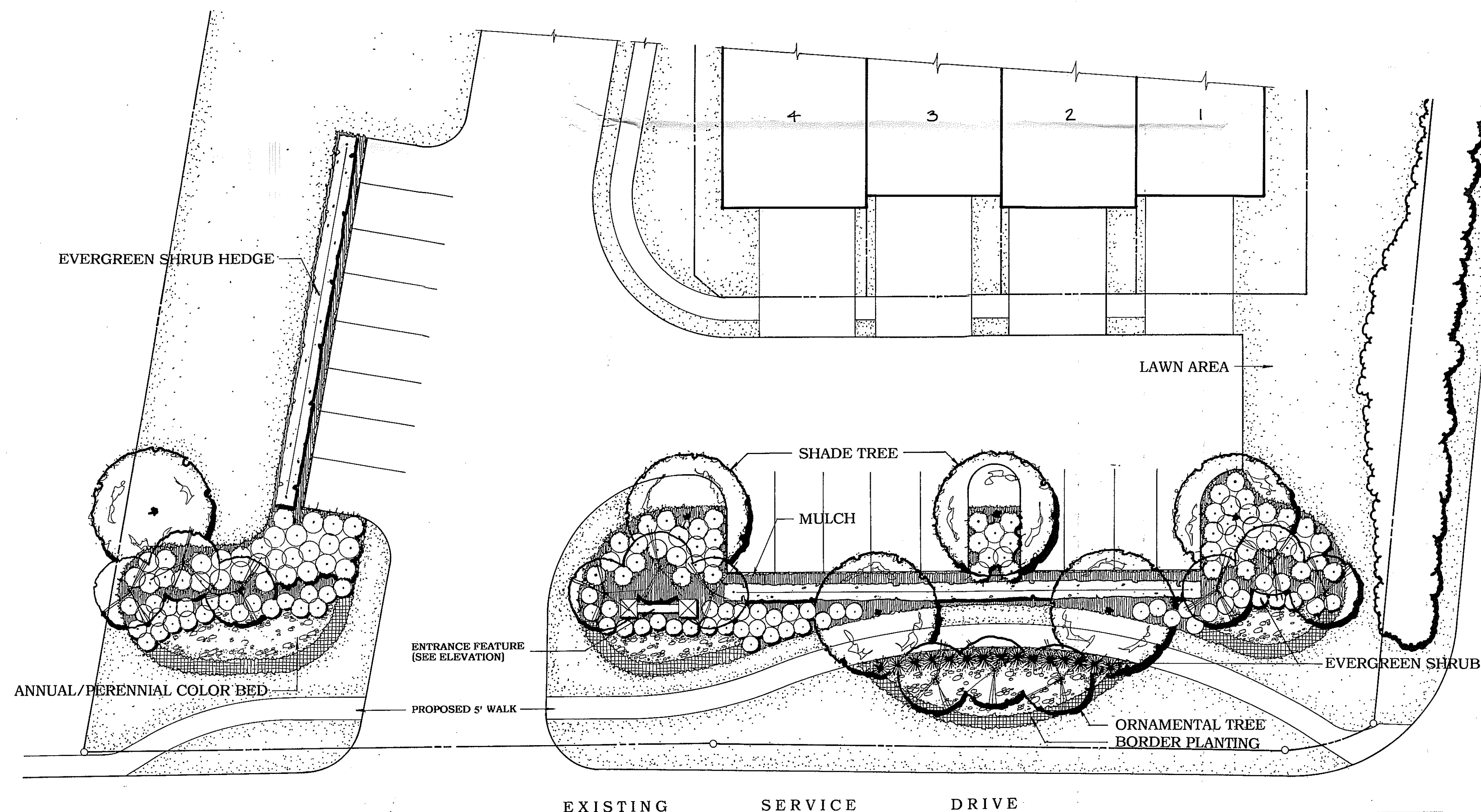
NOTE: FOR CONCEPTUAL PURPOSES ONLY.



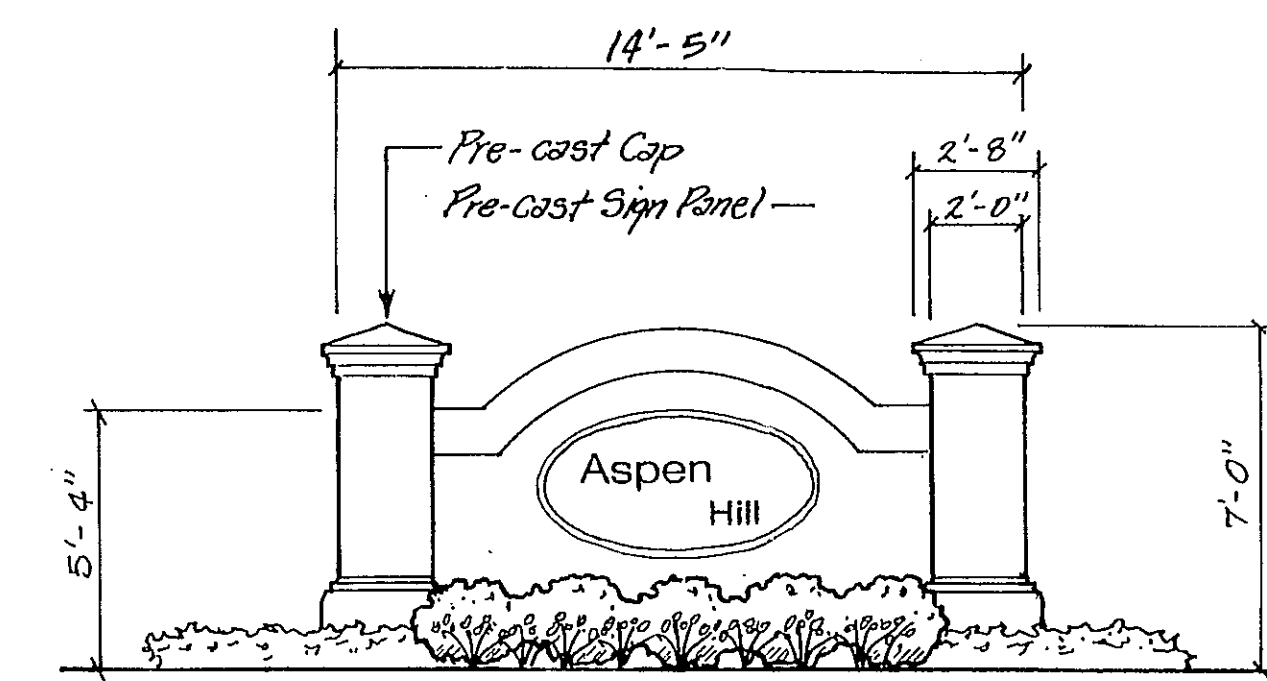
**UNIT LANDSCAPING DETAIL**  
(NOT TO SCALE)

**TYPICAL PLANT SELECTION:**

MEDIUM SHRUBS	SMALL SHRUBS	GROUNDCOVER
NELLIE STEVENS HOLLY FOSTERS HOLLY VIBURNUM RHODODENDRON	AZALEA ANDORRA JUNIPER DENSIFORMIS YEW JAPANESE HOLLY	LIRIOPE PACHYSANDRA VINCA



**SIGN LOCATION / RT 236 STREETSCAPE**  
(NOT TO SCALE)

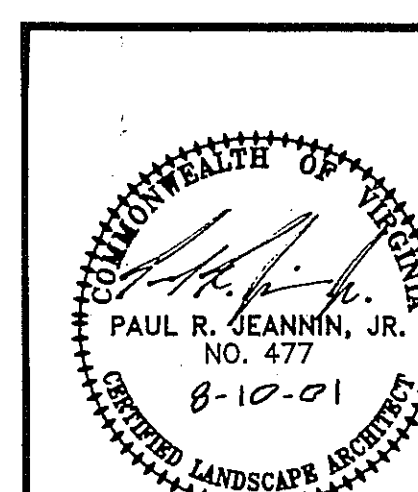
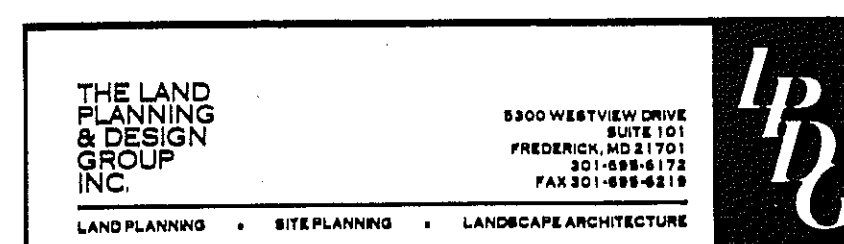


**SIGN DETAIL**  
(NOT TO SCALE)

Application No. R2/F2/2001-MA-01 Staff F. Burmagynski  
APPROVED DEVELOPMENT PLAN  
(DP) (GDP) (CDP) (FDP)  
SEE PROFFERS DATED 9/20/01  
Date of 805 (PC) approval 10/22/01  
Sheet 3 of 3

**REVISION BLOCK**

REVISION	DESCRIPTION	DATE
#1	New sheet.	7-1-01
#2	Revise Sheet 1	7-31-01
#3	Revise Sheet 1	8-10-01



CONCEPTUAL / FINAL  
DEVELOPMENT PLAN

**ASPEN HILL**

MASON DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE: 1" = 50'  
PDSI PROJECT # 148  
DATE: MARCH 12, 2001  
SHEET 3 OF 3